

Section 16 Sign Standards

16.1 Introduction

Signage is a major component of the urban streetscape. Its presence can be an artful, playful, elegant, vibrant, iconic addition. In the congested urban areas signage has to fight for attention while at the same time “communicating” with an urban audience. Signage can take in all aspects of a building façade with banners, blades, channel letters, frosted glass and engraved structures. Lighting can bring the signage of the building into one holistic statement in the evening as well. In pedestrian dominated urban areas, advertising to the pedestrian is very important and this need brings directional signage, such as freestanding sidewalk signs, window signs, colonnade and blade signs into the streetscape. The artful composition of these various signs adds to the scenery of urban life. At the edges of the Property the expressions will be respectful of the surrounding residential properties. In the interior of the Property even the quietest neighborhood will likely see home occupations and with them elegant signage advertising such services. Within the LUG R, in areas with high volumes of guests, directional signage to and through districts will be vitally important. In village centers and urban cores signage behind the glass will be exempt from the regulations because of its changing nature and signage will spill out onto the sidewalks. The unique nature of Mesa Proving Grounds warrants the ability to submit one or more Master Sign Plans for the Property. A Master Sign Plan is intended to incorporate the vision for signage as well as regulations and elements of signage applicable to specific DUs and/or LUGs.

The vision for signage at Mesa Proving Grounds includes:

- Varied size and lighting to complement LUGs
- Residential scaled in LUGs E and V
- Larger, bolder and more dynamic in urban areas where there is more competition for attention
- More vertical elements to accent urban form
- Signage for pedestrians in addition to the auto scaled signage
 - Shingles
 - Banners
 - Directional
- Intense signage with large, bold and dynamic designs to add to the energy of the urban cores, LUGs GU and UC, and entertainment districts, LUGs CS and R
- No signage restrictions for ground level retail and quasi-retail signage

Refer to **Exhibits 16.1 thru 16.12** - Typical Sign Character for examples of acceptable and typical sign character within Mesa Proving Grounds.

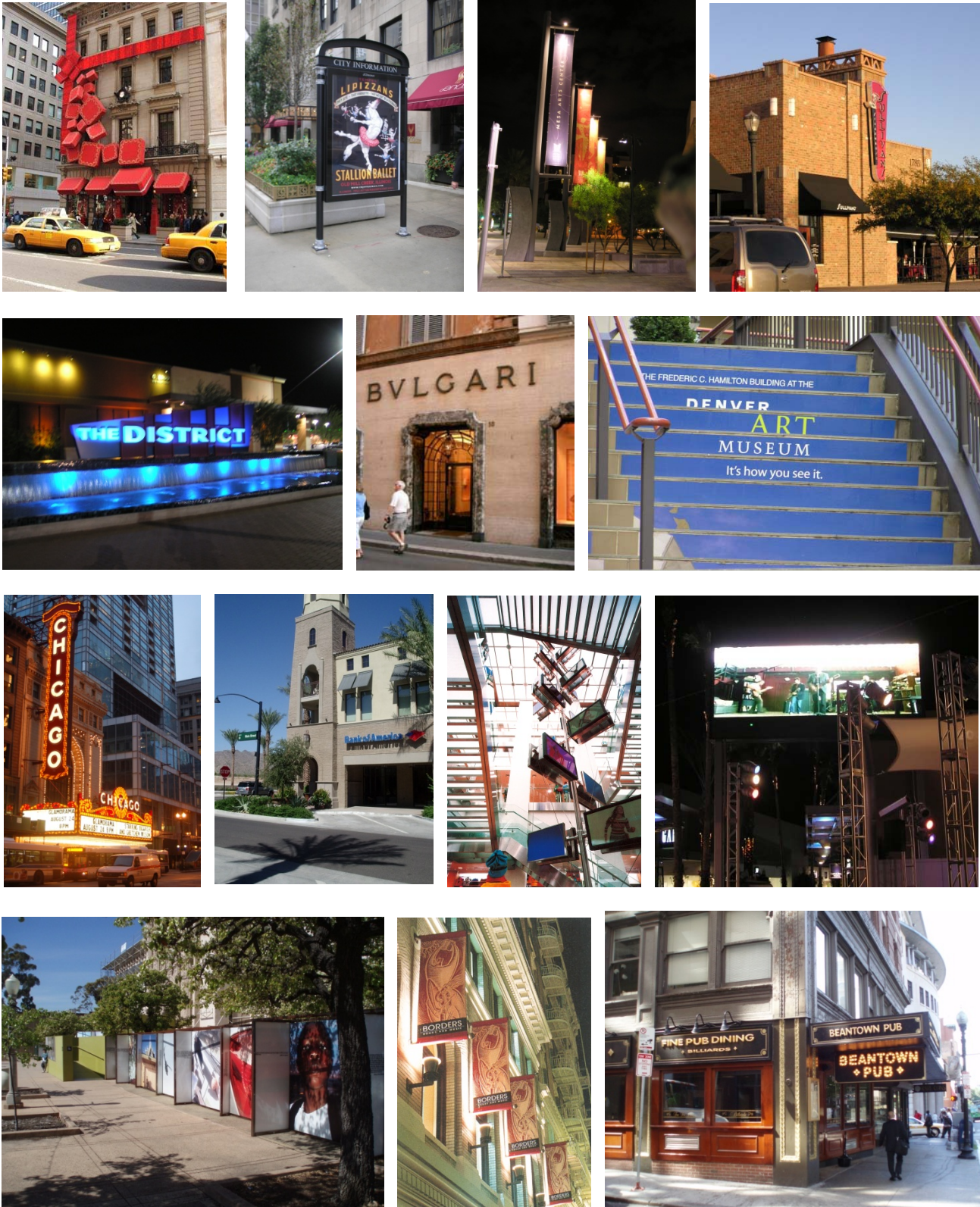
Exhibit 16.1 Typical Sign Character



Note: photos are intended to be representative of the character and quality of the types of signs within Mesa Proving Grounds and are not intended to express specific design details, colors or materials.

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Exhibit 16.2 Typical Sign Character



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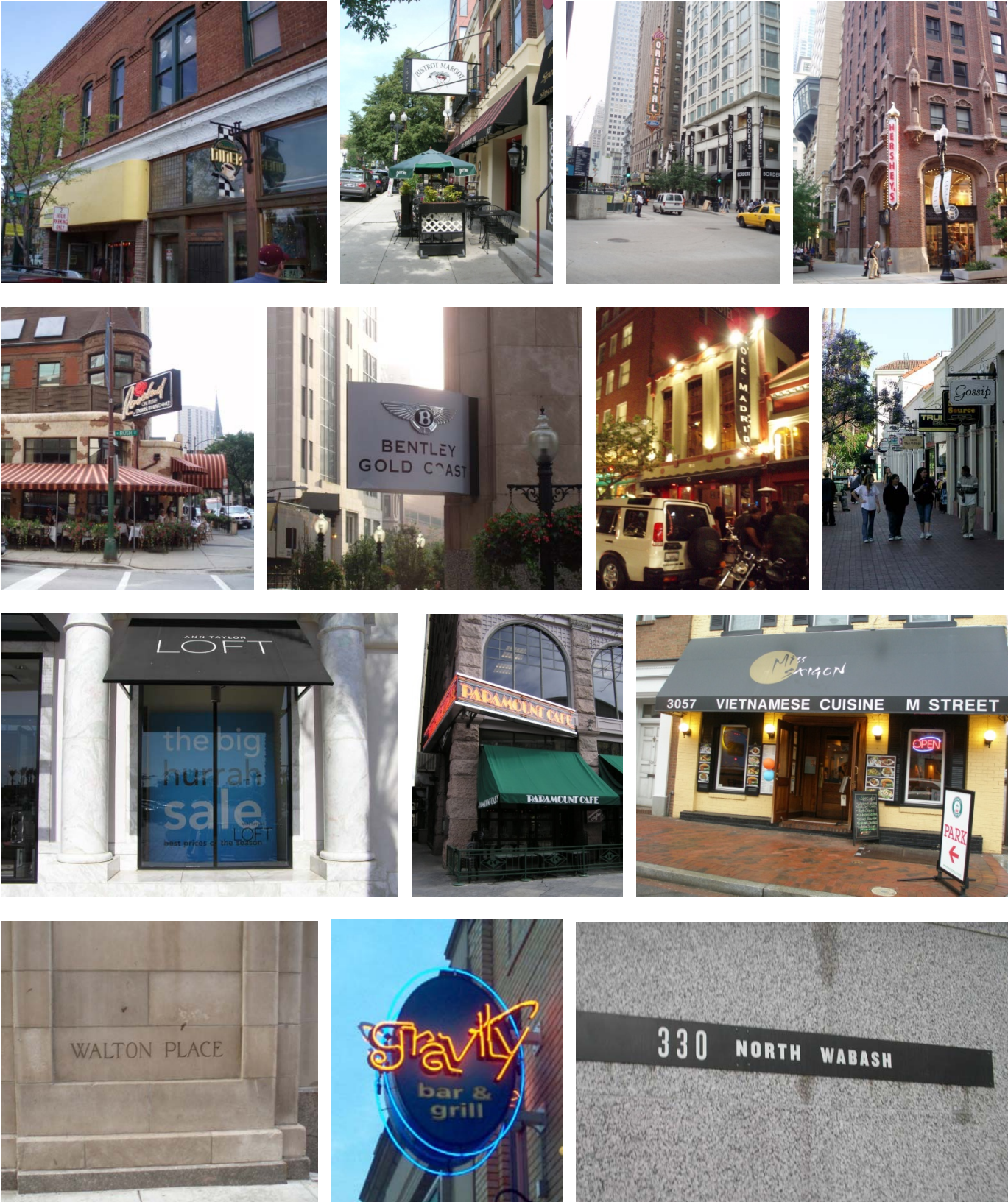
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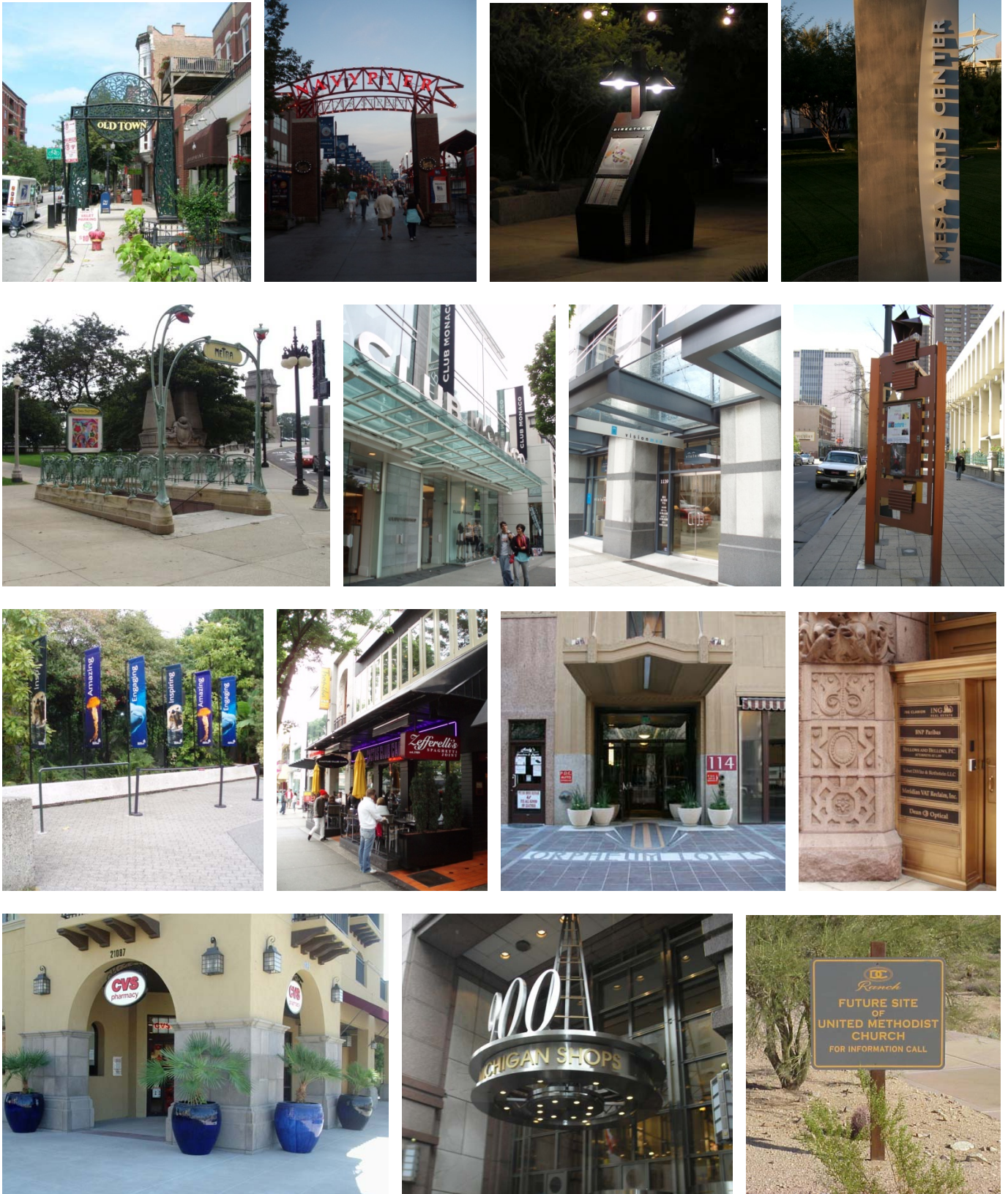
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Exhibit 16.10 Typical Sign Character



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Exhibit 16.11 Typical Sign Character



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Exhibit 16.12 Typical Sign Character



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16.2 Signage

- A. Signage within Mesa Proving Grounds will comply with the City signage regulations as amended by the CP.
- B. The construction and placement of individual signs shall be subject to the issuance of sign permits in accordance with Title 11-19-8(E) of the City Code as amended by the CP.
- C. Signs shall be designed and installed so that there is no interference with the architectural features (including but not limited to windows, balconies, cornices or parapets) of the base building.
- D. Sign area, sign height and the number of signs permitted for individual sites, buildings or tenant spaces, and for group projects, shall be in scale, in proportional and/or complementary to the building's mass, the building's proximity to the street, the character expressed for LUGs and DUs in the CP, and the General Signage Character of Section 16.6 - Signs Permitted by LUG.
- E. For the purpose of this Section, Master Comprehensive Sign Plan submissions, DU Comprehensive Sign Plan submission and Individual Comprehensive Sign Plan submissions, the requirements of the City Sign Code and this Section of the CP shall not apply to the following and therefore shall be exempt from any signage requirements by the City or the CP:
 - 1. Flags, pennants, or insignia of any nation, state, county, city, or other political unit, or any church or religious organization.
 - 2. Works of fine art, statuary, sculpture, or depictions of persons, places, or events noncommercial in nature and not used for purposes of commercial identification.
 - 3. Temporary decorations or displays associated with traditional patriotic, religious, or local holidays, festivals, or events. Said signs may be displayed thirty (30) calendar days prior to the event and ten (10) calendar days after the event.
 - 4. Temporary signs for events of a general Citywide civic or public benefit.
 - 5. Signs not discernable beyond the boundaries of the lot or parcel upon which they are located, or from any public ROW.
 - 6. The placement and maintenance of official traffic, fire, and police signs, signals, and devices and markings of the State of Arizona and the City of Mesa or other authorized public agency, and the posting of notices as required by law.
 - 7. Non-illuminated directional or informational signs of a noncommercial public or quasi-public nature, including street, building, or suite numbers which do not exceed six (6) square feet.
 - 8. Signs displayed during recognized holidays as identification of temporary sales areas for trees, pumpkins and similar holiday items, provided such signs are displayed only within thirty (30) days prior to the recognized holiday.
 - 9. Signs displayed within the interior, or on the inside of the windows, of a building.
 - 10. Messages painted directly on, or adhesive vinyl film affixed to, the exterior surface of existing mineral glass windows or other glazing.
 - 11. Menu signs.
 - 12. Signs which have been designated a historic landmark by the City of Mesa.

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- F. Sign permits are not required for the following signs provided that such signs are subject to all other provisions of this Section. Electric permit shall be required for all exterior electric signs.
1. Any sign not exceeding six (6) square feet in area and not otherwise prohibited by this Section.
 2. Temporary signs not exceeding thirty-two (32) square feet in area and specifically permitted by this Section.
 3. Standard sign maintenance.
 4. Relocation as required by the City.
 5. Window signs.

16.3 Master Comprehensive Sign Plan

To create vibrant, active, social great urban streets, temporary signage shall be used throughout the community in the character expressed in *Exhibit 16.12* - Typical Sign Character. These types of temporary retail and event signs, call to pedestrians as well as drivers and passengers on Neighborhood and District streets to participate in the ever changing urban lifestyle of Mesa Proving Grounds. The Master Developer will submit to the City Zoning Administrator a master comprehensive sign plan for Mesa Proving Grounds to gain formal approval for the Temporary Signs permitted in this Section of the CP. If the City Zoning Administrator does not approve a master comprehensive sign plan (in whole or in part) for Mesa Proving Grounds, temporary signage described as “permitted” in this CP (in whole or in part) may not be permitted.

16.4 DU Comprehensive Sign Plans

- A. To express the urban lifestyle early in the life of the community, to define community districts in ways that form the foundation of cohesive quality design and to provide vertical expressions of the future built forms of Mesa Proving Grounds community wide signage in temporary and permanent forms will be necessary early in the development of the community. These are likely to include but shall not be limited to:
1. Tall community banners, signs and accents at key corners.
 2. Dynamic horizontal detached signs at entrances.
 3. Screen walls and fences with urban graphic displays of the urban lifestyle, events and future development.
 4. Street light banners announcing the future district character and urban lifestyle.
- B. The unique urban land use characteristics and architectural styles of Mesa Proving Grounds clearly represent a variation from conventional development. To integrate community signage into the design of the streetscape, neighborhood and districts within Mesa Proving Grounds, a DU Comprehensive Sign Plan may be submitted with or following a DUP level submission. The community signs shall be approved by a DU Comprehensive Sign Plan not the Master Comprehensive Sign Plan. The DU Comprehensive Sign Plan may be approved by the City Zoning Administrator or Board of Adjustment only after the DUP for the area has been approved. A Master Comprehensive Sign Plan shall be required before a DU Comprehensive Sign Plan may be approved. The DU Comprehensive Sign Plan must relate to, complement, or enhance the character of the DU as described in the DUP. The DU Comprehensive Sign Plans may be phased providing general information about the sign type, location, size, height and orientation of some or all of the following:
1. Real Estate Signs
 2. Contractor Signs
 3. Development Signs

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4. Subdivision Signs
 5. Subdivision Directional Signs
 6. Subdivision Weekend Directional Signs
 7. Refinements to the Signs Permitted by LUG by the CP
- C. If sign type, size, height, location, orientation, color, lighting and materials are not submitted with the DU Comprehensive Plan, amendments to the DU Comprehensive Sign Plan which include this information for phases or groups of signs must be approved by the City Zoning Administrator or Board of Adjustments before individual sign permits may be issued.
- D. DU Comprehensive Sign Plans containing elements which exceed the permitted height, area and number of signs specified in City Code may be approved by the Zoning Administrator / Board of Adjustments because of the unique urban land use characteristics and architectural styles of Mesa Proving Grounds.

16.5 Individual Comprehensive Sign Plans

- A. The unique urban land use characteristics and architectural styles of Mesa Proving Grounds clearly represent a variation from conventional development. This variation and an anticipated high level of customization due to the urban context, suggest that many properties will choose to submit individual comprehensive sign plans at or after the Site Plan or subdivision level. Each property may choose instead to apply for a sign permit based on the sign type and size permitted in Section 16.6 - Signs Permitted by LUG. Both options are available to provide convenience and efficiency for residents and tenants as well as the ability to create custom, highly specialized designs for specialty users.
- B. The purpose of an individual comprehensive sign plan is to provide for the establishment of signage criteria that are tailored to a specific development or location, and which may vary from specific provisions of Section 16.6 - Signs Permitted by LUG. The intent is to provide for flexible sign criteria that promote:
1. Superior sign design through architectural integration of the site, buildings and signs.
 2. The General Signage Character of the properties LUG as described in Section 16.6 - Signs Permitted by LUG.
- C. An Individual Comprehensive Sign Plan may be submitted at or after the Site Plan or subdivision level. A Site Plan or subdivision must be approved before an Individual Comprehensive Sign Plan for the property may be approved by the City Zoning Administrator or Board of Adjustments. Neither a Master Comprehensive Sign Plan nor a DU Comprehensive Sign Plan shall be required before an Individual Comprehensive Sign Plan may be approved. Signs shall be consistent and compatible with the design themes and development character expressed by the CP, the DUP and the General Signage Character of the LUG expressed in *Exhibit 16.13 - 16.17* - Signage Permitted by Land Use Group. An Individual Comprehensive Sign Plan shall include the following for all proposed signs either permanent or temporary:
1. Sign type (Attached- wall, mural, cabinet, awning, canopy, blade, shingle, plaque, banner, Detached, Directional)
 2. Size (relative or absolute)
 3. Height
 4. Proportion (percentage of background, height to width, percentage of surface area)
 5. Location (geographic, on object, by type, by LUG)

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- 6. Orientation
- 7. Color (variance, hue, compatibility with architecture)
- 8. Lighting (external, internal, types, intensity, color, motion)
- 9. Materials

D. A phased Individual Comprehensive Sign Plan may include only the sign type, location, size, height and orientation of all proposed signs, however amendments to the Individual Comprehensive Sign Plan providing all of required information for each phase or group of signs must be approved by the City Zoning Administrator or Board of Adjustments before individual sign permits may be issued.


E. Individual Comprehensive Sign Plans containing elements which exceed the permitted height, area and number of signs specified in Section 16.6 - Signs Permitted by LUG may be approved by the Zoning Administrator / Board of Adjustments because of the unique urban land use characteristics and architectural styles of Mesa Proving Grounds.

16.6 Signs Permitted by LUG

A. Purpose and Intent

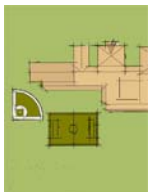
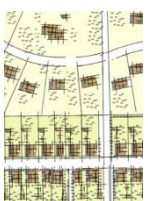
The purpose of this section is to provide for reasonable signage for purposes of identification of buildings, developments and individual occupancies that is compatible with the associated land use and neighboring developments. It is the intent of this section that signs are permitted in scale with the intensity of the land use and the size of the development. Signs shall be consistent and compatible with the design themes and development character expressed by the CP, the DUP and the General Signage Character of the LUG expressed in *Exhibit 16.13 - 16.17* - Signage Permitted by Land Use Group. Sign permits shall be reviewed and approved by the Zoning Administrator or Board of Adjustments per the standard City process based on the criteria of the CP.

Exhibit 16.13 - Signage Permitted by Land Use Group - OS

LUG OS - Open Space				
	General Signage Character	Attached Signs		
	Often found in landscaped settings, but may also be intensely bold and varied in activity centers where signs may become entertainment	Total Sign Area	0.2 sf / each front foot of building occupancy	
		Types Permitted	Wall, mural, cabinet, awning, canopy, blade, shingle, plaque, banner	
	Enhanced pedestrian signage encouraged in urban areas with high pedestrian use	Detached Signs		
		Total Sign Area	0.2 sf / lf of street frontage	
		Maximum Sign Height	1 ft / 10 feet of street frontage	
		Maximum Individual Sign Size	80 sf, 40 ft high	
	Temporary Retail / Portable Signs			
			Permitted per adjacent or surrounding LUG	
	Other Permitted Sign Types			
		Window signs or applied graphics, menu signs/boards/cabinets, incidental signage, address, back of house, directional		



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Exhibit 16.14 - Signage Permitted by Land Use Group - CS, E

LUG CS - Civic Space																									
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COMMUNITY PLAN

Exhibit 16.15 – Signage Permitted by Land Use Group – V, D

LUG V – Village			
	<p>General Signage Character</p> <p>Limited, residential scaled (small), exterior or halo lighted only</p>	<p>Attached Signs</p>	
	<p>Total Sign Area</p>	<p>0.1 sf / each front foot of building occupancy along service lanes and neighborhood streets</p> <p>0.2 sf / each front foot of building occupancy along arterial or district streets</p>	
	<p>Types Permitted</p>	<p>Wall, mural, awning, canopy, blade, shingle, plaque, banner</p>	
	<p>Detached Signs</p>		
	<p>Total Sign Area</p>	<p>0.1 sf / lf of street frontage</p>	
	<p>Maximum Sign Height</p>	<p>3 feet</p>	
	<p>Maximum Individual Sign Size</p>	<p>6 sf, 3 ft high</p>	
	<p>Temporary Retail / Portable Signs</p>		
		<p>Permitted only along district streets</p>	
	<p>Other Permitted Sign Types</p>		
	<p>Window signs or applied graphics, menu signs/boards/cabinets, incidental signage, address, back of house, directional</p>		
LUG D – District			
	<p>General Signage Character</p> <p>Varies from residential (small) scaled, exterior or halo lighted to that of typical neighborhood commercial centers with enhanced pedestrian directional and commercial signage.</p> <p>Minor signage for business components for live-work units</p> <p>Standard commercial signage (lighted) for minor mixed-use neighborhoods or structures</p>	<p>Attached Signs</p>	
	<p>Total Sign Area</p>	<p>0.2 sf / each front foot of building occupancy along service lanes and neighborhood streets</p> <p>2 sf / each front foot of building occupancy along arterial or district streets</p>	
	<p>Types Permitted</p>	<p>Wall, mural, cabinet (along district and arterial streets only), awning, canopy, blade, shingle, plaque, banner</p>	
	<p>Detached Signs</p>		
	<p>Total Sign Area</p>	<p>0.2 sf / lf of street frontage along service lanes and neighborhood streets</p> <p>1 sf / lf of street frontage along arterial or district streets</p>	
	<p>Maximum Sign Height</p>	<p>8 feet along service lanes and neighborhood streets</p> <p>1 ft / 10 feet of street frontage along arterial or district streets</p>	
	<p>Maximum Individual Sign Size</p>	<p>32 sf, 8 ft high along service lanes and neighborhood streets</p> <p>80 sf, 12 ft high along arterial or district streets</p>	
	<p>Temporary Retail / Portable Signs</p>		
		<p>Permitted</p>	
	<p>Other Permitted Sign Types</p>		
	<p>Window signs or applied graphics, menu signs/boards/cabinets, incidental signage, address, back of house, directional</p>		



COMMUNITY PLAN

Exhibit 16.16 – Signage Permitted by Land Use Group – C, R

LUG C - Regional Center/Campus																											
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COMMUNITY PLAN

Exhibit 16.17 - Signage Permitted by Land Use Group - GU, UC

LUG GU - General Urban				
	General Signage Character	Attached Signs		
	Signage is often abundant to attract attention in intense areas, bold to attract attention, varied in placement and type and a heavy emphasis is placed on advertising to the pedestrian traffic. Enhanced pedestrian signage, directional, store front and commercial signage are anticipated.	Total Sign Area	2 sf / each front foot of building occupancy	
		Types Permitted	Wall, mural, cabinet, awning, canopy, blade, shingle, plaque, banner	
		Detached Signs		
		Total Sign Area	1 sf / lf of street frontage	
		Maximum Sign Height	1 ft / 10 feet of street frontage	
		Maximum Individual Sign Size	80 sf, 12 ft high* *One 40' high 80 sf 2' wide sign may be placed on a group commercial development adjacent to a district or arterial street.	
		Temporary Retail / Portable Signs		
	Total Sign Area	0.25 sf / each front foot of building occupancy		
	Maximum Sign Height	1.25 ft / 10 front feet of building occupancy		
	Other Permitted Sign Types			
		Window signs or applied graphics, menu signs/boards/cabinets, incidental signage, address, back of house, directional		
LUG UC - Urban Core				
	General Signage Character	Attached Signs		
	Signage will be enhanced, varied and bold to get attention in intense areas with a heavy emphasis on advertising to the pedestrian with enhanced pedestrian, storefront and directional signage. Signage may be regularly used as forms of entertainment within this LUG.	Total Sign Area	5 sf / each front foot of building occupancy	
		Types Permitted	Wall, mural, cabinet, awning, canopy, blade, shingle, plaque, banner	
		Detached Signs		
		Total Sign Area	1 sf / lf of street frontage	
		Maximum Sign Height	The height of the sign is limited to no more than the height of the associated building.	
		Maximum Individual Sign Size	Not Limited	
		Temporary Retail / Portable Signs		
		Permitted, may include video		
	Other Permitted Sign Types			
		Window signs or applied graphics, menu signs/boards/cabinets, incidental signage, address, back of house, directional		

COMMUNITY PLAN

B. Terms and Restrictions

1. Sign Area

The area of a sign is the entire area within a single continuous perimeter composed of parallelograms, circles, ellipses, trapezoids and triangles, or a combination of two (2) of the above or regular portions thereof per sign panel which encloses the extreme limits of the advertising message, announcement, declaration, demonstration, display, illustration, insignia, surface, or space of a similar nature, together with any frame or other material, color, or condition which forms an integral part of the display and is used to differentiate such sign from the wall or background against which it is placed: excluding the necessary supports or uprights on which such sign is placed. Where a sign has two (2) faces, the area of both faces shall be included in determining the area of the sign, except that only one (1) face of a double-faced sign shall be considered in determining the sign area, provided both faces are parallel and the distance between faces does not exceed two (2) feet. Where a sign has three (3) or four (4) faces, the area of the sign shall be calculated as fifty (50) percent of the total area of all faces, provided the interior angle between adjacent faces is ninety (90) degrees or less. Where statuary, either genuine or simulated, is used as a sign, the area of said sign shall be the three (3) vertical sides of the smallest right rectangle enclosing the figure that are most visible from the ROW.

2. Front Foot

The front foot shall be the maximum lineal dimension of an exterior wall, excluding canopies and projections, measured on a straight line parallel to a fronting street, public area, or quasi-public area. For purposes of this definition, all pad buildings and pad occupancies, located on a corner parcel, are defined as having exterior walls fronting on both streets. For purposes of calculating sign area or sign quantity, each building façade shall be calculated separately for signage allowances. Allowed signage per façade may only be combined with the approval of the City Zoning Administrator or through an Individual Comprehensive Sign Plan.

3. Street Frontage

Street frontage shall be the linear feet of frontage a lot, parcel or property has along a public ROW. For purposes of calculating sign area or sign quantity, each street frontage shall be calculated separately for signage allowances. Allowed signage per street frontage may only be combined with the approval of the City Zoning Administrator or through an Individual Comprehensive Sign Plan.

4. Height

Height for the purposes of signage shall be the vertical distance to the top of a sign, excluding embellishment, measured from the nearest curb, sidewalk, or street grade. Embellishments may be added to detached signs and are permitted to exceed the maximum sign height by twenty (20) percent.

5. Embellishment

Embellishments shall be structural or decorative elements of a sign incorporating representations of the significant architectural features of the associated building or development. Embellishment shall not conveying a commercial advertising message through letters, numerals, figures, emblems, logos, colored bands, or other features.

COMMUNITY PLAN

C. Sign Types

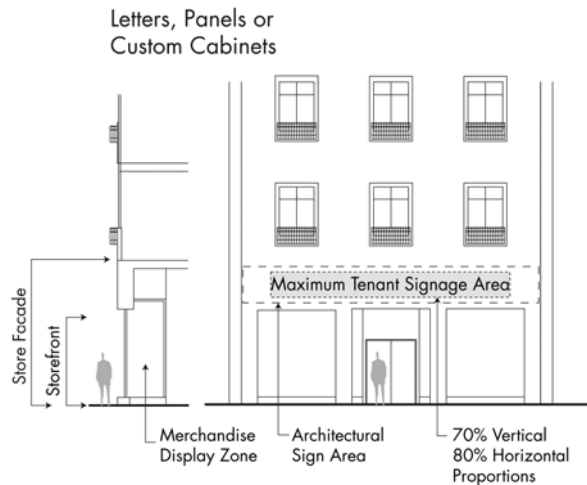
1. Attached Sign

An attached sign is any sign which is fastened, attached, connected or supported in whole or in part by a building.

a. Wall-Mounted Sign

A wall mounted sign is any sign mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. This does not include window signs. All signs shall fit appropriately into architectural sign areas as depicted on **Exhibit 16.18** - Wall Signs with a maximum proportion of seventy (70) percent of the vertical height and eighty (80) percent of the horizontal length. Margins left by the sign should generally be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Architecturally integrated signs may use a face material or cabinet which fills the entire sign area as background material. Refer to **Exhibit 16.18** - Wall Signs.

Exhibit 16.18 - Wall Signs



b. Mural

A mural is painting or pictorial representation applied to or incorporated into a structure or wall, which can be viewed from public places, service lanes and ROW.

COMMUNITY PLAN

c. Cabinet Sign

A cabinet sign is a sign that contains all the text and/or logo symbols within a single enclosed case. Cabinet signs that are wall mounted must comply with the wall mounted sign requirements of this section. Refer to *Exhibit 16.19* - Typical Cabinet Sign Character.

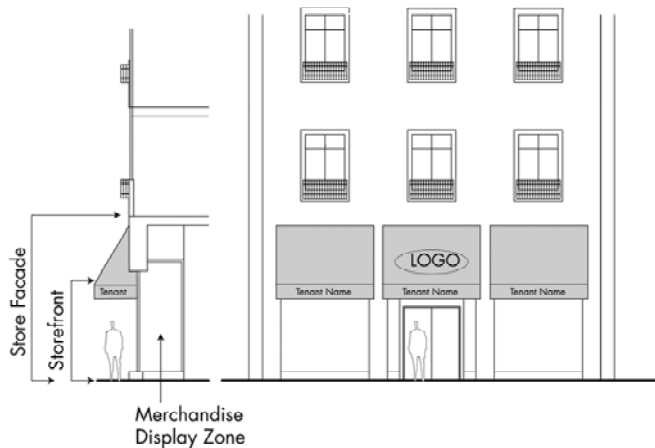
Exhibit 16.19 - Typical Cabinet Sign Character



d. Awning Sign

An awning sign is a sign placed on, affixed to, or incorporated into the surface of an awning (typically fabric attached to or stretched over frames) or similar device. A maximum of fifty (50) percent of all surfaces of the awning may be used for signage. A maximum of twenty-five (25) percent of the valance may be used for signage. The awning and associated signage must be at least eight (8) feet above any walkway surfaces. Awnings over four (4) feet deep may be required to provide indirect illumination of the walkway below, this shall not be considered signage illumination. Refer to *Exhibit 16.20* - Awning Signs.

Exhibit 16.20 - Awning Signs

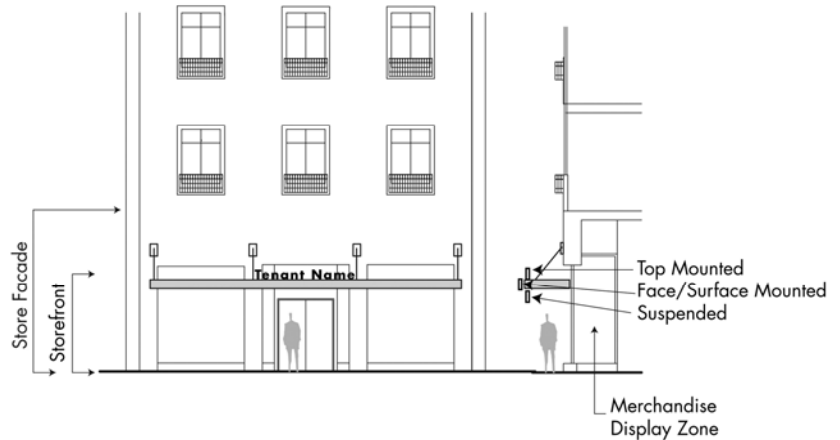


COMMUNITY PLAN

e. Canopy

A sign placed on, affixed to, or incorporated into the surface of a canopy (typically rigid structures, or structures with vertical supports) or similar device. Signage may be mounted over, suspended under or face-mounted to the front edge or sides of a canopy. The canopy and associated signage must be at least eight (8) feet above any walkway surfaces. Canopies over four (4) feet deep may be required to provide indirect illumination of the walkway below, this shall not be considered signage illumination. Refer to *Exhibit 16.21 - Canopy Signs and Sign Character*.

Exhibit 16.21 - Canopy Signs and Sign Character



f. Blade / Projecting Sign

A blade or projecting sign shall be a sign attached to a building or other structure and extending in whole or in part more than fifteen (15) inches beyond the building. The blade or projecting sign must be at least eight (8) feet above any walkway surfaces. Maximum projection shall not exceed four (4) feet unless approved by the City Zoning Administrator or through an Individual Comprehensive Sign Plan. Mounting brackets must be decorative elements, compatible with the architecture of the base building.

g. Banner Sign

A banner shall be a temporary sign of fabric, plastic, paper or other light pliable material. The banner sign must be at least eight (8) feet above any walkway surfaces unless hung like a flag from ridged elements at least eight (8) feet above any walkway surfaces. Maximum projection shall not exceed four (4) feet unless approved by the City Zoning Administrator or through an Individual Comprehensive Sign Plan. Mounting brackets must be decorative elements, compatible with the architecture of the base building or structural element the banner is attached to.

COMMUNITY PLAN

h. Shingle / Hanging Sign

A shingle or hanging sign shall be sign suspended from and located entirely under a covered porch, covered walkway, colonnade, canopy or an awning. Shingle or hanging signs are by their nature pedestrian oriented and shall not count against the maximum sign area, height or quantity allowed. One (1) shingle or hanging sign shall be permitted for and at each entry point. The maximum sign area for a shingle or hanging sign shall be six (6) square feet. Shingle or hanging signs shall be hung to advertise to adjacent pedestrians and may be hung generally perpendicular or parallel to the building. The shingle or hanging sign must be at least eight (8) feet above any walkway surfaces. Mounting brackets must be decorative elements, compatible with the architecture of the base building the shingle or hanging sign is attached to.

i. Plaque

A plaque is a pedestrian oriented sign mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. Plaques are by their nature pedestrian oriented and shall not count against the maximum sign area, height or quantity allowed. One (1) plaque or set of plaques shall be permitted for and at each entry point. The maximum sign area for a plaque or set of plaques shall be six (6) square feet. Plaques must be decorative elements, compatible with the architecture of the base building the plaques are attached to. Refer to *Exhibit 16.22* - Plaque Character

Exhibit 16.22 - Plaque Character



2. Detached -

A detached sign shall be any sign permanently anchored to the ground which stands alone on its own foundation and structural supports and detached from any supporting elements of a building. No detached sign shall be located within fifty (50) feet of any other detached sign without the approval of the City Zoning Administrator or through an Individual Comprehensive Sign Plan. For the purpose of measuring sign area each linear foot of street frontage shall only be counted once for each lot, parcel or property. For the purpose of measuring sign height each linear foot of street frontage shall only be counted once for each lot, parcel or property.

a. Freestanding / Monument Sign

A freestanding or monument sign shall be a detached sign supported by a solid sign base or in direct contact with the ground. The solid base of a freestanding or monument sign (if any) must be a decorative element, compatible with the architecture and landscape design of the building, project or property.

COMMUNITY PLAN

b. Pole Sign

A pole sign shall mean a detached sign supported by one (1) or more uncovered or exposed uprights, supports, or braces. The uncovered or exposed uprights, supports or braces of a pole sign must be decorative elements, compatible with the architecture and landscape design of the building, project or property.

c. Directory Sign

A directory sign shall mean a pedestrian oriented detached sign listing name, use and/or location within a building, building complex, or multi-tenant development. Directory signs are by their nature pedestrian oriented and shall not count against the maximum sign area or sign height allowed. Text and logos shall be no more than six (6) inches in height. The maximum sign area for directional signs shall be twenty-seven (27) square feet unless approved by the City Zoning Administrator or through an Individual Comprehensive Sign Plan. Directory signs must be decorative elements, compatible with the architecture of the site they are a part of.

3. Temporary Retail / Portable Sign

A temporary retail or portable sign is any sign or advertising device not secured in place, such as an A-frame or spring-loaded sign. A temporary retail or portable sign is a sign either portable or stationary used to display information relating to a land use or event of limited duration which is intended to be removed upon termination of said land use or event. Temporary retail and portable signs shall not count against the maximum sign area, height or quantity allowed. One (1) temporary retail or portable sign shall be permitted for and at each entry point. The maximum sign area for temporary retail or portable sign shall be eight (8) square feet. Maximum sign height shall not be regulated, but the signs taller than three and a half (3.5) feet must be designed so they do not endanger pedestrians or vehicles by falling over. Temporary retail or portable signs must be decorative elements, compatible with the architecture of the base building, the tenants storefront, or the setting they will be placed in. Temporary retail or portable signs are not permitted to block building entrances or sidewalk clear routes. Permits for temporary retail or portable sign must include the locations where they may be set up. Temporary retail or portable signs are not allowed along arterial streets unless they are part of an Individual Comprehensive Sign Plan.

4. Window Sign

Window signs or applied graphics shall be any sign placed on, affixed to, painted on, sandblasted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window signs area shall not be limited by the City Code or the CP.

5. Menu Sign/Board/Cabinet:

A menu sign is a sign used to inform the public of the list of entrees, dishes, foods and entertainment available. A menu board is permanently mounted external sign displaying the bill of fare. A menu cabinet is a permanently mounted cabinet with front of glass or other glazing in which a menu sign may be displayed and changed often. Menu signs, boards or cabinets shall be mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. Menu signs, boards and cabinets are by their nature pedestrian oriented and shall not count against the maximum sign area, height or quantity allowed. One (1) Menu sign, board or cabinet shall be permitted for and at each entry point. The maximum sign area for a menu sign, board or cabinet shall be six (6) square feet. Menu signs, boards or cabinets must be decorative elements, compatible with the architecture of the base building the plaques are attached to.

COMMUNITY PLAN

6. Incidental Signage

Incidental signage shall not be limited by the City Code. Text and logos shall be no more than two (2) inches in height. Incidental signage may include the following information that is typically provided for commercial establishments:

- a. The name of the establishment
- b. Hours of operation
- c. Suite numbers
- d. Modifiers of the products sold
- e. Logos and other graphic elements
- f. Credit cards accepted decal
- g. Chamber of commerce membership decal
- h. Open/Closed sign less than one-half (1/2) square foot, not permanently attached to the Storefront glazing
- i. No smoking decals less than one-half (1/2) square foot
- j. Other decals required by Law

7. Address

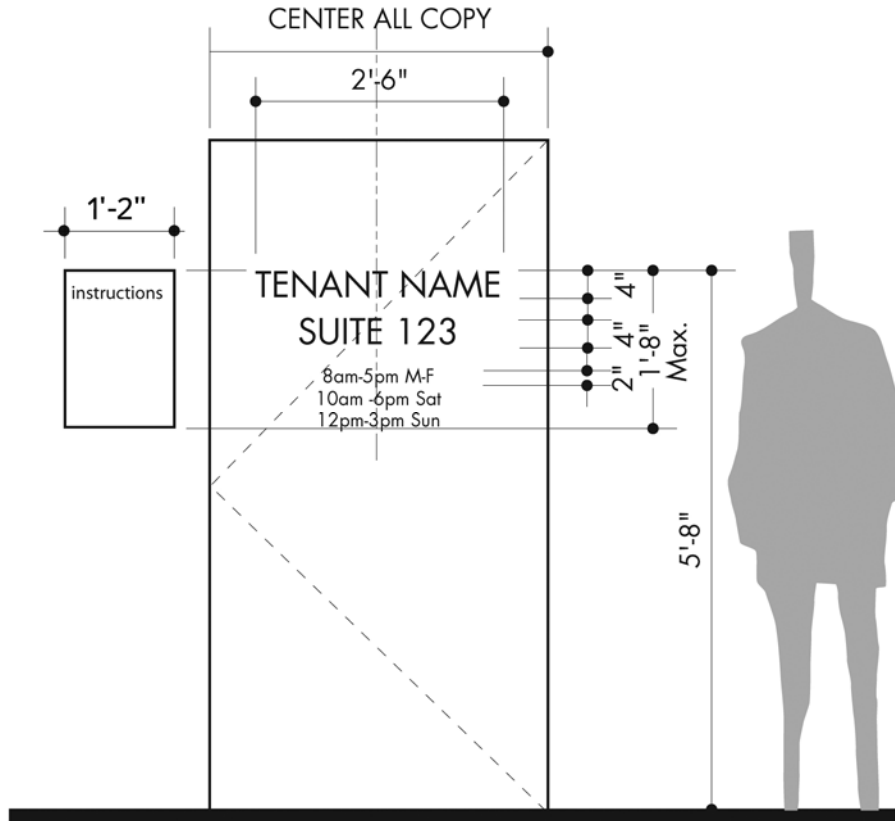
Address signs including street, building and suite numbers which do not exceed six (6) square feet are not regulated by the City Code.

COMMUNITY PLAN

8. Back of House Signs

Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown on **Exhibit 16.23** - Back of House Signage, without counting against the maximum sign area. These regulations apply when back doors are visible from adjacent ROW. Signage not visible from adjacent ROW is not regulated by City Code.

Exhibit 16.23 - Back of House Signage



Note: dimensions shown are maximum dimensions.

9. Directional Sign

A directional sign shall be a sign which includes copy offering pertinent directional information for the purpose of assisting in the flow of vehicular or pedestrian traffic. Directional signs are not advertising nor commercially oriented and shall not count against the maximum sign area allowed. The maximum sign area for directional signs shall be six (6) square feet unless approved by the City Zoning Administrator or through an Individual Comprehensive Sign Plan. Plaques must be decorative elements, compatible with the architecture or the site they are a part of.

10. Pedestrian Sign

Pedestrian signs are signs that focus their message on pedestrian traffic and generally include directional signs, menu signs/boards/cabinets, temporary retail and portable signs, plaques, shingles or hanging signs and back of house signs.

16.7 Off-Site Signs

Sites or signage districts have been established due to the urban nature of the community, the development of multiple cores, the desire for signage to be integrated into the holistic design of the community and the need to direct large numbers of visitors to the Property quickly and efficiently to major destinations and regions. For the purposes of determining on-site versus off-site signage, each signage district shall be considered a site and all signage within the site or signage district shall be considered on-site. The sites or signage districts within Mesa Proving Grounds shall be as follows:

- A. DUs 1,2 and 5
- B. DUs 3 and 4
- C. DU 6
- D. DU 7
- E. DUs 8 and 9

16.8 Banners on Public Street Lights and in the ROW

Banners and holiday decorations on public street light poles are permitted. Banners and holiday decorations may be permitted over the ROW with the specific approval of the City. The banners and holiday decorations may be installed by the Master Developer and shall be maintained by the Master Developer. The banners may be used to advertise community, cultural, social or recreational events; to denote districts within Mesa Proving Grounds; celebrate events, activities or accomplishments. The banners shall not be used to advertise merchandise or services for sale. Sponsorship shall be allowed no more than fifteen (15) percent coverage on a street light pole banner and no more than thirty (30) percent coverage on an over the ROW banner.

16.9 Signs on Public Property

Signs on public property such as park benches and bus bays are permitted. Signs on public property may be installed by the Master Developer and shall be maintained by the Master Developer. Signs on public property may be used to advertise community, cultural, social or recreational events; to denote districts within Mesa Proving Grounds; celebrate events, activities or accomplishments. Signs on public property shall not be used to advertise merchandise or services for sale. Sponsorship shall be allowed no more than thirty (30) percent coverage.

16.10 Signage Behind Storefronts

Signage behind storefronts, interior to building masses and on storefront glazing shall not be limited by City sign regulations.

16.11 Video Display Signage

Television or other similar video display as part of urban entertainment shall be allowed with a comprehensive sign plan if appropriate to the character of the LUG. Video display which does not pose a hazard for vehicular traffic shall not be limited to provide static images with minimum display periods. Video billboards for the sole purpose of advertising to passing vehicle traffic on arterial streets and freeways shall not be permitted.

16.12 Animated Signage

Signs that employ intermittent or flashing illumination, animation, stereopticon, or laser projection, sound emission, rotation or other movement, visible moving parts or any device creating the illusion of motion shall be allowed with a comprehensive sign plan if appropriate to the character of the LUG.

16.13 Building or Architecturally Integrated Signage

Multi-colored bands, stripes, patterns, outlines or delineations displayed for the purpose of commercial identification which constitutes a sign as defined by the City, shall only be permitted with an approved comprehensive sign plan and concurrent approved Site Plan with the building elevations showing the integrated signage. Such approvals shall not be withheld if the signage:

- A. Clearly serves as an architectural embellishment to the building or development
- B. Is compatible and harmonious with the primary color(s), style and architecture of the building or development
- C. Is integrated into the primary physical elements of the building or development
- D. Is constructed or composed of architectural-grade materials